



Application for Architectural Review Board

**** This application must be filled out completely and signed before submittals are placed on the ARB agenda.***

The purpose of Architectural Review Board shall be to two-fold; to develop architectural and design guidelines for the City of Ladue in accordance with section 110-70 and to apply those guidelines in reviewing projects within the City as to whether or not the project adheres to such guidelines.

APPLICANT INFORMATION

Name of Applicant: Srote & Company

Phone #: 314-822-7006

Email address of Applicant (for review comments): ras@sroteco.com

PROJECT PROPERTY INFORMATION

Address for proposed work: 1 Wood Acre Road

Zoning District: A - Residential Parcel ID # (St. Louis county record): 20M310105

DESCRIPTION OF PROPOSED PROJECT: New pool house

Additional Information:

- Professionally sealed plans are not required for ARB review.
- Plans for projects involving alterations and repairs, which do not affect the outward appearance of a building, and existing decks, fences, window replacements and roofing shingle replacements shall not require approval of the Architectural Review Board.
- Revised plans with any changes predicated by the ARB will need to be submitted with the building permit application to the Department of Planning and Development with final trustee approval (if applicable.)
- Projects approved by ARB should be submitted for building permits within 180 days or the ARB approval may become void.

By signing this application, you acknowledge that by submitting an incomplete application, your petition will not be added to the meeting agenda.

X

Date: 12-7-21

** This application and review for City of Ladue building permitted purposes only. Please be aware of any additional covenants and indentures which may be recorded with your subdivision. Approval of this ARB proposal does not waive any other permit or other authorization by the City that may be required for you to fully complete your proposed project.*

a new pool house for a single family residence known as:

the Hoffman residence

location:

1 wood acre rd

ladue, missouri 63124

project architect

srote & company

architects | interiors | planners

2900 south brentwood boulevard
brentwood, missouri 63144

phone: 314.822.7006

toll free: 855.359.3516

website: www.sroteco.com



ARCHITECTS | PLANNERS | INTERIORS

2900 south brentwood blvd
brentwood, missouri
63144

telephone: 314.822.7006
toll free: 855.359.3516
website: www.sroteco.com

srote & company, llc
missouri certificate of authority
2013000205

project / location:

a single family residence
pool house

1 wood acre rd
ladue, missouri
63124

owner:

Greg & Beth
Hoffmann

1 wood acre
ladue, missouri
63124

builder / developer:

date
description

issue date:
november 29, 2021

phase:
construction documents

sheet title:
title sheet

drawn by:
ras/kjn

checked by:
ras

total pages in set:
13

architect's seal:

robert anthony srote - architect
A-2020040052

The professional services were offered to the client upon review of the material and items shown on this sheet. All drawings, calculations and other documents not attached to this sheet and not be considered prepared by the architect and the architect expressly disclaims any and all responsibility for such plans, drawings or documents and reserves the right to.

sheet no:

T-1

project number:
21-083

architect's rendering

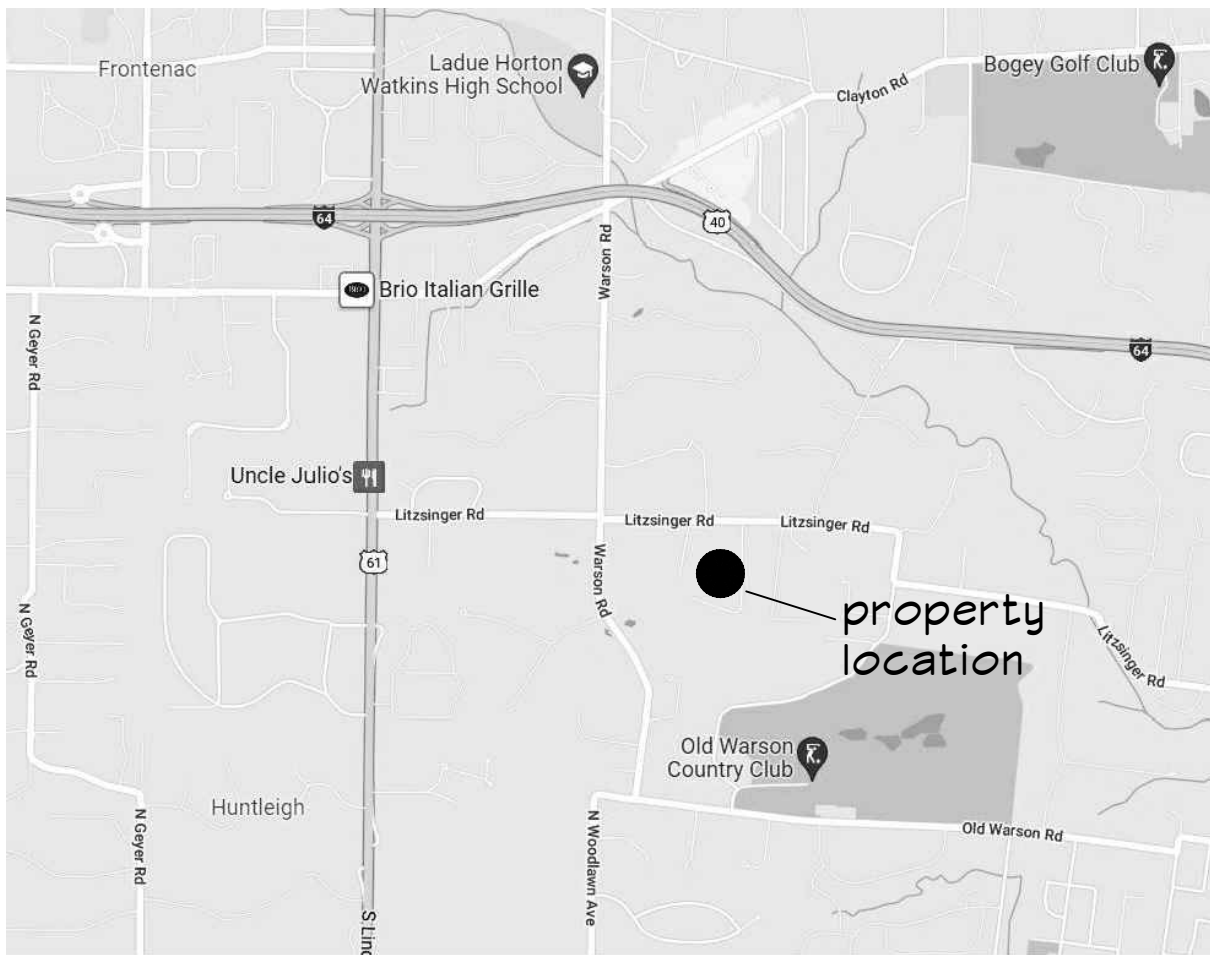


not to scale

abbreviations legend

| abbreviation / meaning | abbreviation / meaning | abbreviation / meaning | abbreviation / meaning | abbreviation / meaning |
|--|----------------------------|--|----------------------------|-------------------------------|
| AA ATTIC ACCESS | CO CASED OPENING | FT FOOT (or) FEET | O/ ON (or) OVER | T AND G TONGUE AND GROOVE |
| AB ANCHOR BOLT | COL COLUMN | F TO F FACE TO FACE | OC ON CENTER | T/ TOP |
| ABV ABOVE | CONC CONCRETE | FTG FOOTING | OH OVERHEAD | THK THICK; THICKNESS |
| AC AIR CONDITIONING (or) ALTERNATING CURRENT | COND CONDENSER | FV FIELD VERIFY | PC PULL CHAIN | THRU THROUGH |
| ACoust ACoustic | CONST CONSTRUCTION | GBO GYPSUM BOARD OPENING | PPA POST FROM ABOVE | TME TO MATCH EXISTING |
| ADD ADDENDUM; ADDITION | CONT CONTINUOUS | GC GENERAL CONTRACTOR | POLY POLYETHYLENE | TRD TREAD |
| ADH ADHESIVE | CPT CARPET | GYP GYPSUM BOARD | FL PLATE | TYP TYPICAL |
| ADJ ADJUSTABLE | CT CERAMIC TILE | HD HIGH DENSITY | PLYMD PLYWOOD | UNO UNLESS NOTED OTHERWISE |
| AF ABOVE FLOOR | DBL DOUBLE | HDR HEIGHT | PLAM PLASTIC LAMINATE | V VOLT |
| AFF ABOVE FINISHED FLOOR | DEMO DEMOLITION | HGT HEIGHT | PLUMB PLUMBING | VAN VANITY |
| AGGR AGGREGATE | DIA DIAMETER | HORIZ HORIZONTAL | PREFAB PREFABRICATED | VERT VERTICAL |
| ALUM ALUMINUM | DL DEAD LOAD | HRDWR HARDWARE | PSF POUNDS PER SQUARE FOOT | VIF VERIFY IN FIELD |
| AMP AMPERE | DN DOWN | HVAC HEATING, VENTILATION AND AIR CONDITIONING | PSI POUNDS PER SQUARE INCH | W/ WITH |
| ANCH ANCHOR | DR DOOR | INSUL INSULATION | PVC POLYVINYL CHLORIDE | W/O WITHOUT |
| APPROX APPROXIMATE | DS DOWNSPOUT | IN INCH | QTY QUANTITY | WD WOOD |
| ATTEN ATTENUATION | DTL DETAIL | IJS IN JOIST SPACE | R RISER | NDW WINDOW |
| B/ BOTTOM | DV DIRECT VENT | JST JOIST | REBAR REINFORCEMENT BAR | NH WATER HEATER |
| BLKG BLOCKING | DW DRYWALL | REF RECEPT | REF RECEPTACLE | NIC WALK-IN CLOSET |
| BLW BELOW | DWO DRYWALL OPENING | REF REFRIGERATOR | REIN REINFORCE | NRB WEATHER RESISTIVE BARRIER |
| BM BEAM | EA EACH | REF REFRIGERATOR | REQD REQUIRED | NWF WELDED WIRE FABRIC |
| BP BEAM POCKET | EB EXPANSION BOLT | REIN REINFORCE | RO ROD AND SHELF | |
| BPL BEARING PLATE | EE EACH END | REQD REQUIRED | SC SOLID CORE | |
| BR BEDROOM | EJ EXPANSION JOINT | RO ROUGH OPENING | SF SQUARE FEET | |
| BRG BEARING | ELEC ELECTRIC | R/SH ROD AND SHELF | SHTG SHEATHING | |
| BRDG BRIDGE, BRIDGING | ENG ENGINEERED | SC SOLID CORE | SIM SIMILAR | |
| BRG BEARING | EQUIP EQUIPMENT | SF SQUARE FEET | SPG SPACING | |
| CC CENTER TO CENTER | EW EACH WAY | SHTG SHEATHING | SQ SQUARE | |
| CF CUBIC FEET | EXT EXTERIOR | SIM SIMILAR | SS STAINLESS STEEL | |
| CJ CONTROL JOINT | EXIST EXISTING | SPG SPACING | STL STEEL | |
| CJ CEILING JOIST | FD FLOOR DRAIN | MIL 1/1000 OF AN INCH | STD STANDARD | |
| CLG CEILING | FDN FOUNDATION | ML MICROLAM | STRCT STRUCTURAL | |
| CLKG CAULKING | FIN FINISH | MIN MINIMUM | SW SWITCH | |
| CLOS CLOSET | FIXT FIXTURE | MFGR MANUFACTURER | T AND B TOP AND BOTTOM | |
| CLR CLEAR | FLR FLOOR | MLDS MOULDING | TBR TO BE REMOVED | |
| CMU CONCRETE MASONRY UNIT | FLSHG FLASHING | MSTR MASTER | TEMP TEMPERED | |
| | FOS FACE OF STUDS | MTL METAL | | |
| | FP FIREPLACE | NO NUMBER | | |
| | FPFB FREEZE-PROOF HOSE BIB | NOM NOMINAL | | |

vicinity map



code information

| | |
|----------------------|---|
| building code: | 2015 International Residential Code 2015 International Energy Conservation Code 2015 International Mechanical Code 2015 International Fuel and Gas Code 2015 Uniform Plumbing Code 2014 National Electrical Code |
| building department: | Zoning, Building, Mechanical & Plumbing - City of Ladue Electrical - St. Louis County |
| fire department: | Ladue Fire Department |
| zoning: | "A" - Residential |
| lot size: | 128,914 square feet / 2.959 acres |

floor area calculations

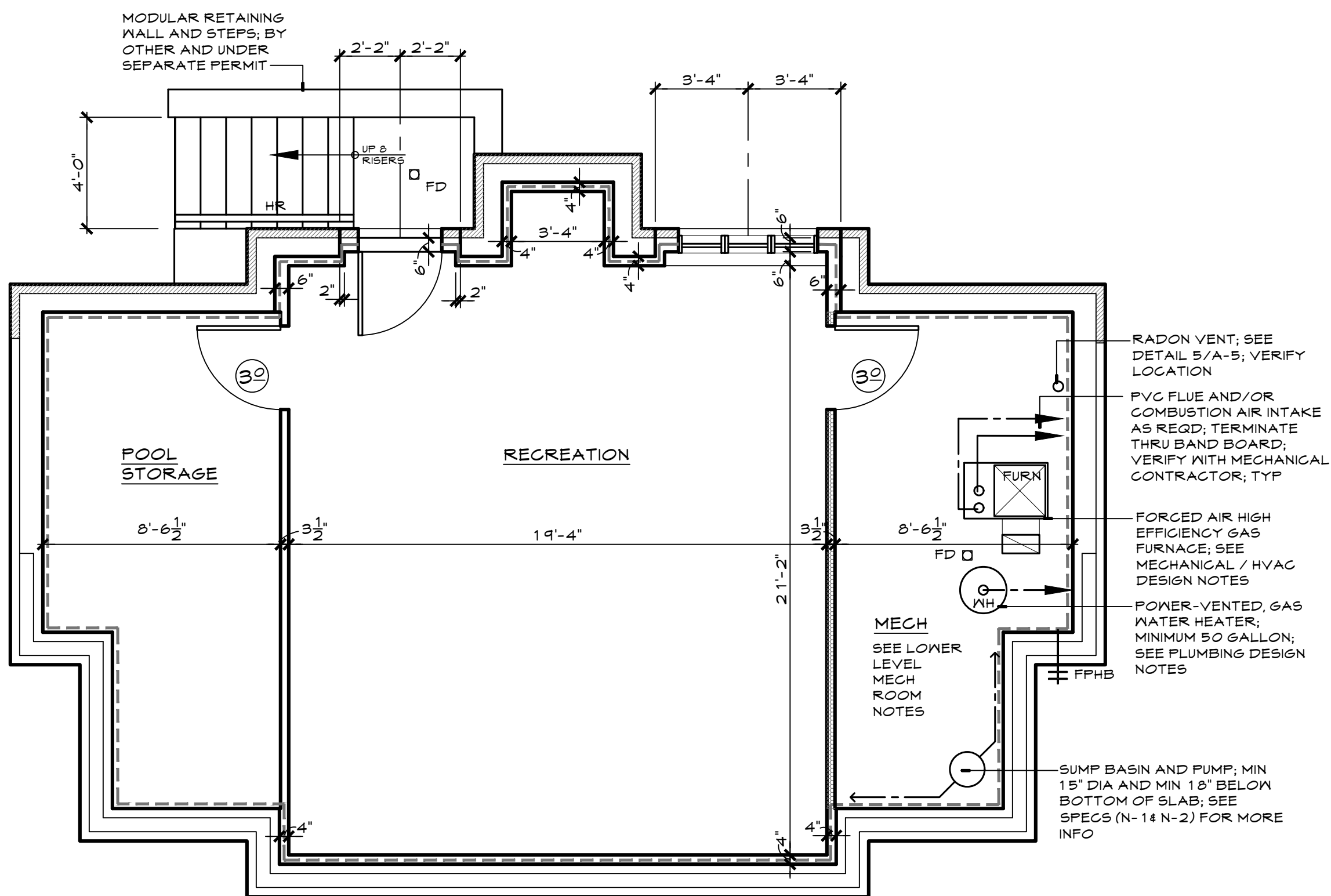
| | |
|----------------------------|-------------------|
| finished lower level area: | 448 square feet |
| first floor area: | 803 square feet |
| total floor area: | 1,251 square feet |

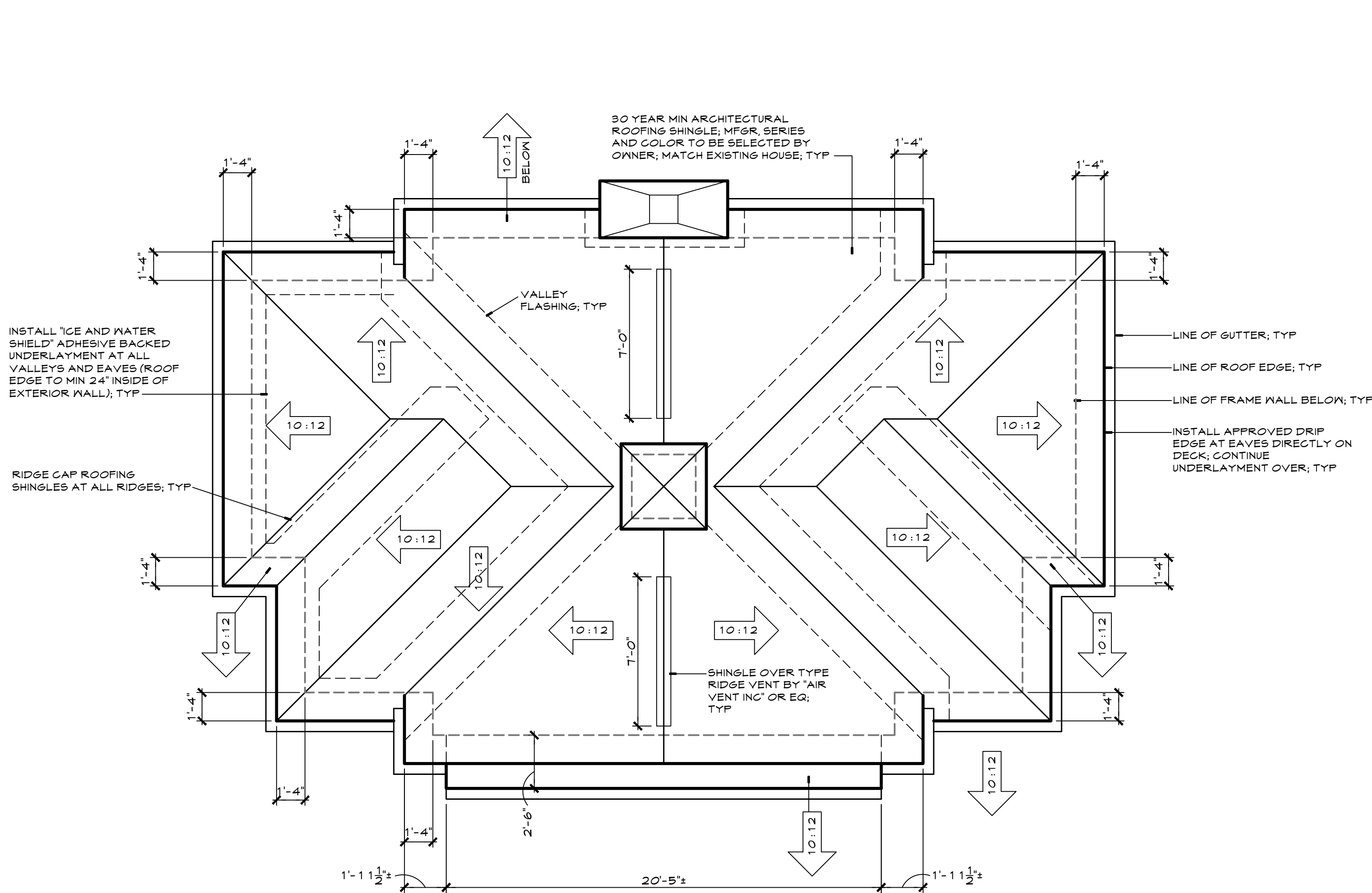
sheet index

| | |
|-----|---|
| T-1 | Title Sheet |
| N-1 | Specifications |
| N-2 | Specifications |
| A-1 | Finished Lower Level Plan |
| A-2 | Main Level & Roof Plans |
| A-3 | Exterior Elevations |
| A-4 | Details |
| A-5 | Details |
| A-6 | Details |
| A-7 | Braced Wall Details |
| S-1 | Foundation Plan |
| S-2 | Main Level & Roof Framing Plans |
| E-1 | Lower & Main Level Power and Lighting Layouts |

SEE PLUMBING AND MECHANICAL CONTRACTORS FOR FINAL DESIGN

scale: 1/4" = 1'-0"





1 roof plan

scale: 1/4" = 1'-0"

gutter and downspout note

INSTALL 6" OSEE PROFILE PREFINISHED ALUMINUM GUTTERS WITH 3" x 4" RECTANGULAR DOWNSPOUTS AS REQUIRED PER STANDARD INDUSTRY PRACTICE; CONNECT DOWNSPOUTS BELOW GRADE IN A DRAIN TILE AT PERIMETER OF HOUSE AND 'DAYLIGHT' IN AN APPROVED MANNER

cornice / truss heel note

INSTALL SMOOTH 'HARDIESOFFIT' PANELS (CONTINUOUS SCREENED VENT AT EAVES; UNVENTED AT RAKES); SEE TYPICAL CORNICE DETAILS

REFER TO EXTERIOR ELEVATIONS AND TYPICAL CORNICE DETAILS FOR MORE INFORMATION AS TO TRUSS HEEL HEIGHTS AND ANY OTHER CORNICE INFORMATION

typical roof shingle note

INSTALL MINIMUM 30 YEAR WARRANTY ARCHITECTURAL STYLE ASPHALT ROOF SHINGLES; INSTALL PER MANUFACTURER SPECIFICATIONS AS REQUIRED FOR FULL WARRANTY PROTECTION; VERIFY COLOR AND STYLE WITH OWNER

typical roof flashing notes

INSTALL PREFINISHED ALUMINUM FLASHING OVER 30 LB ROOFING FELT OVER 'ICE AND WATER SHIELD' ADHESIVE BACKED UNDERLAYMENT AT ALL ROOF VALLEYS

INSTALL APPROVED FLASHING WITH 'KICK-OUTS' AT BOTTOM END OF RUN AT ALL ROOF/WALL AND ROOF/CHIMNEY INTERSECTIONS
BOOT / COLLAR FLASHING AT ALL ROOF PENETRATIONS

typical roof sheathing / overframing note

FRAMING CONTRACTOR TO OMIT/REMOVE AS MUCH ROOF SHEATHING AS POSSIBLE AT OVERFRAMING AREAS WITHIN A SINGLE ATTIC VENTILATION ZONE; FULL ROOF SHEATHING TO REMAIN AT OVERFRAMING AREAS SEPARATING ATTIC VENTILATION ZONES; VERIFY WITH TRUSS DESIGNER

attic ventilation note:

REQUIRED VENTILATION BASED ON 1/300 OF ATTIC AREA METHOD; PROVIDE AT LEAST 50% OF THE REQUIRED ROOF VENTILATION IN THE UPPER PORTION OF THE VENTED SPACE; NO MORE THAN 3'-0" BELOW THE HIGHEST POINT OF THE VENTED SPACE; PROVIDE AT LEAST 50% OF THE REQUIRED ROOF VENTILATION AT EAVE OR CORNICE VENTS

typical ridge vent note

RIDGE VENT DIMENSIONS SHOWN ARE MINIMUM VALUES ONLY; ENTIRE LENGTH OF RIDGES WITH VENTS SHOWN TO BE VENTED PER MANUFACTURER SPECIFICATIONS; RIDGES WITH NO VENT SHOWN ARE TO BE COMPLETELY UNVENTED; NOTIFY ARCHITECT IF MINIMUM RIDGE VENT LENGTHS CANNOT BE INSTALLED PER MANUFACTURER SPECIFICATIONS

roof venting requirements:

| | | |
|--|---------------------|---------------------|
| TOTAL ATTIC AREA | | 975 SQ FT |
| REQUIRED VENTING AREA | | 3.25 SQ FT |
| 1/300th OF TOTAL ATTIC AREA | | |
| REQD VENTING AREA IN SQ. INCHES | | 468 SQ IN |
| REQUIRED VENTING AREA IN SQ FT x 144 SQ IN / SQ FT | | |
| INTAKE VENTING REQUIREMENTS | | 234 SQ IN |
| REQUIRED VENTING AREA (IN SQ IN) x 5 | | |
| EXHAUST VENTING REQUIREMENTS | | 234 SQ IN |
| REQUIRED VENTING AREA (IN SQ IN) x 5 | | |
| PROVIDED INTAKE VENTING | | 840 SQ IN |
| MFGR SUBSTITUTIONS MUST BE EQUAL TO OR GREATER THAN NET FREE AREA LISTED | | |
| DESCRIPTION | NET FREE AREA | PROVIDED TOTAL |
| 'COR-A-VENT' S-400 STRIP VENT | 10 sq in per lin ft | 84 lin ft 840 sq in |
| PROVIDED EXHAUST VENTING | | 252 SQ IN |
| MFGR SUBSTITUTIONS MUST BE EQUAL TO OR GREATER THAN NET FREE AREA LISTED | | |
| DESCRIPTION | NET FREE AREA | PROVIDED TOTAL |
| 'AIR VENT INC' SHINGLEVENT II' SHINGLE OVER RIDGE VENT | 18 sq in per lin ft | 14 lin ft 252 sq in |

1 main level plan

scale: 1/4" = 1'-0"

wall legend

| | |
|---|--|
| thermal enclosure partition (insulate & air seal) | |
| sound insulated partition | |
| masonry veneer | |
| cmu | |

typical first floor bathroom notes

INSTALL CAST SHOWER BASE UNIT; INSTALL SHOWER HEAD AT 84" ABOVE FINISH FLOOR; INSTALL CERAMIC TILE OVER CEMENT BOARD BACKER AT WALLS TO SOFFIT; FRAME SOFFIT TO 96" ABOVE FINISH FLOOR; INSTALL TYPE II TEMPERED GLASS, FRAMELESS ENCLOSURE AND DOOR

PROVIDE SOUND BATT INSULATION IN ALL SURROUNDING WALLS AND FLOORS ABOVE AND BELOW; 'ROCKWOOL' 'SAFE-N-SOUND' BATTS OR EQUAL

VANITY HEIGHTS TO BE AT 36" ABOVE FINISH FLOOR; SEE CABINET SUPPLIER SHOP DRAWINGS FOR ALL OTHER INFORMATION

INSTALL FRAMED MIRRORS AS SELECTED BY OWNER

SEE OWNER FOR FINAL FIXTURE SELECTIONS

first floor interior finish notes

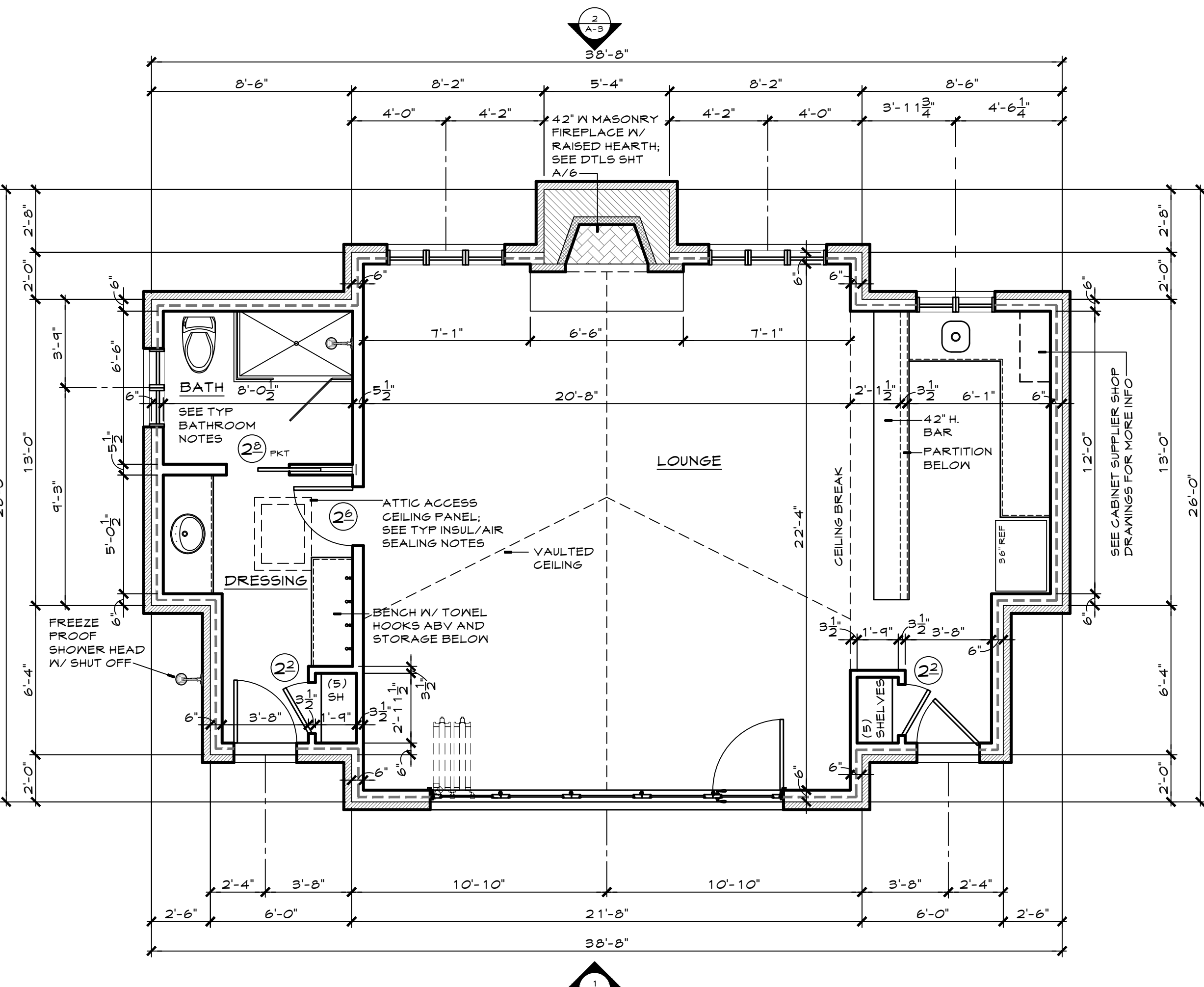
TYPICAL INTERIOR DOOR:
ALL DOORS OF THIS FLOOR LEVEL ARE TO BE 1-3/4" THICK x 84" HIGH x WIDTH ON PLAN; SOLID WOOD; MATCH DOORS AT HOUSE (VERIFY W/ OWNER)

(3) FULL MORTISE, BALL BEARING HINGES AT EACH DOOR; OWNER TO SELECT FINISH; VERIFY HINGE LOCATIONS IN FIELD TO CLEAR OBSTRUCTIONS

TYPICAL WINDOW/DOOR CASING:
3-1/2" W X 3/4" THICK STOCK; SOLID WOOD; VERIFY PROFILE AND FINISH WITH OWNER

TYPICAL BASE BOARD:
1-1/4" H X 3/4" THICK STOCK WITH BASE SHOE; SOLID WOOD; VERIFY PROFILE AND FINISH WITH OWNER

POCKET DOOR FRAME:
POCKET DOORS IN 2x8 STUD WALL USING 'JOHNSON' HARDWARE 2060 SERIES (2000 SERIES FOR 2x4 STUD WALL) HEAVY DUTY FRAMES WITH STEEL FURRING (MIN 400 LB DOOR CAPACITY)



typical insulation / air sealing notes

ALL INSULATION TO MEET GRADE 1 INSTALLATION REQUIREMENTS; NO FULL THICKNESS VOIDS; NO COMPRESSION OF BATT INSULATION (SPLICE AT WIRES/PIPPES, CUT OUT AROUND JUNCTION BOXES ETC.) AND BLOWN INSULATION INSTALLED AT DENSITY RECOMMENDED BY MANUFACTURER SPECIFIC TO EACH APPLICATION (WALL, ATTIC, ETC.)

MINIMUM INSULATION R-VALUES:

| | |
|-------------|--|
| CEILING | R-49 |
| FRAME WALLS | R-20 |
| FRAME FLOOR | R-19 (SECURE IN CONTACT WITH SUBFLOOR ABOVE) |
| FOUNDATION | R-10 CONTINUOUS OR R-13 AT FURRING CAVITY |
| SLAB FLOOR | R-10; 24" DEEP AT EXPOSED EDGES |

- MINIMUM R-3 INSULATION AT WINDOW AND EXTERIOR DOOR HEADERS
- MINIMUM R-6 INSULATION AT ALL EXTERIOR WALL CORNERS
- MAINTAIN MINIMUM WALL INSULATION R-VALUE AT INTERIOR / EXTERIOR WALL INTERSECTIONS; SEE DETAIL 4/A-5

MINIMUM 22"x30" ATTIC ACCESS PANEL; INSULATION (R-VALUE TO MATCH ADJACENT CONSTRUCTION) TO BE SECURELY FASTENED TO ATTIC SIDE OF PANELS; INSTALL CONTINUOUS PERIMETER GASKET TO PRODUCE CONTINUOUS AIR SEAL WHEN NOT ACCESSING ATTIC; INSTALL PERMANENT PLYWOOD DAM AROUND CEILING OPENINGS TO HOLD BACK LOOSE FILL ATTIC INSULATION

AIR SEAL FOLLOWING LOCATIONS WITH SPRAY FOAM OR CAULK:

- PARTITION TOP PLATE / DRYWALL CEILING JOINTS (ATTIC ABOVE)
- PENETRATIONS IN PARTITION TOP PLATES (ATTIC ABOVE)
- ROUGH OPENING AT WINDOWS AND DOORS (LOW EXPANSION SEALANT)
- EXTERIOR WALL BOTTOM PLATE / SUBFLOOR JOINT

INSTALL DURABLE SHEATHING MATERIAL (DRYWALL, THERMO PLY, PLYWOOD, ETC.) TO MAINTAIN ALIGNMENT OF INSULATION AND AIR BARRIER AT DROPPED CEILING/SOFFITS, CHASES, BEHIND TUB/SHOWER FIXTURES AND AT ATTIC KNEE WALLS

MAXIMUM WHOLE HOUSE INFILTRATION RATE - 4.0 ACH50; VERIFY UTILIZING BLOWER DOOR TEST

project / location:

a single family residence
pool house

1 wood acre rd
ladue, missouri
63124

owner:

Greg & Beth
Hoffmann

1 wood acre
ladue, missouri
63124

builder / developer:

| | |
|-------------|--|
| date | |
| description | |

issue date:

november 29, 2021

phase:

construction documents

sheet title:

main level & roof plans

drawn by:

ras/kjn

checked by:

ras

total pages in set:

13

architect's seal:

robert anthony srote - architect
A-2020040052

The professional services were offered to the client upon review of the material and items shown on this sheet. All drawings, calculations and other documents not attached to this sheet and not considered prepared by the architect and the architect expressly disclaims any and all responsibility for such plans, drawings or documents and reserves the right to.

sheet no:

A-2

project number:

21-083



3 east elevation



typical brick lintel note:

| | |
|------------|---------------------------------|
| L-1 | L 3-1/2" x 3-1/2" x 5/16" THICK |
| L-2 | L 7" x 4" x 3/8" THICK; LLV |

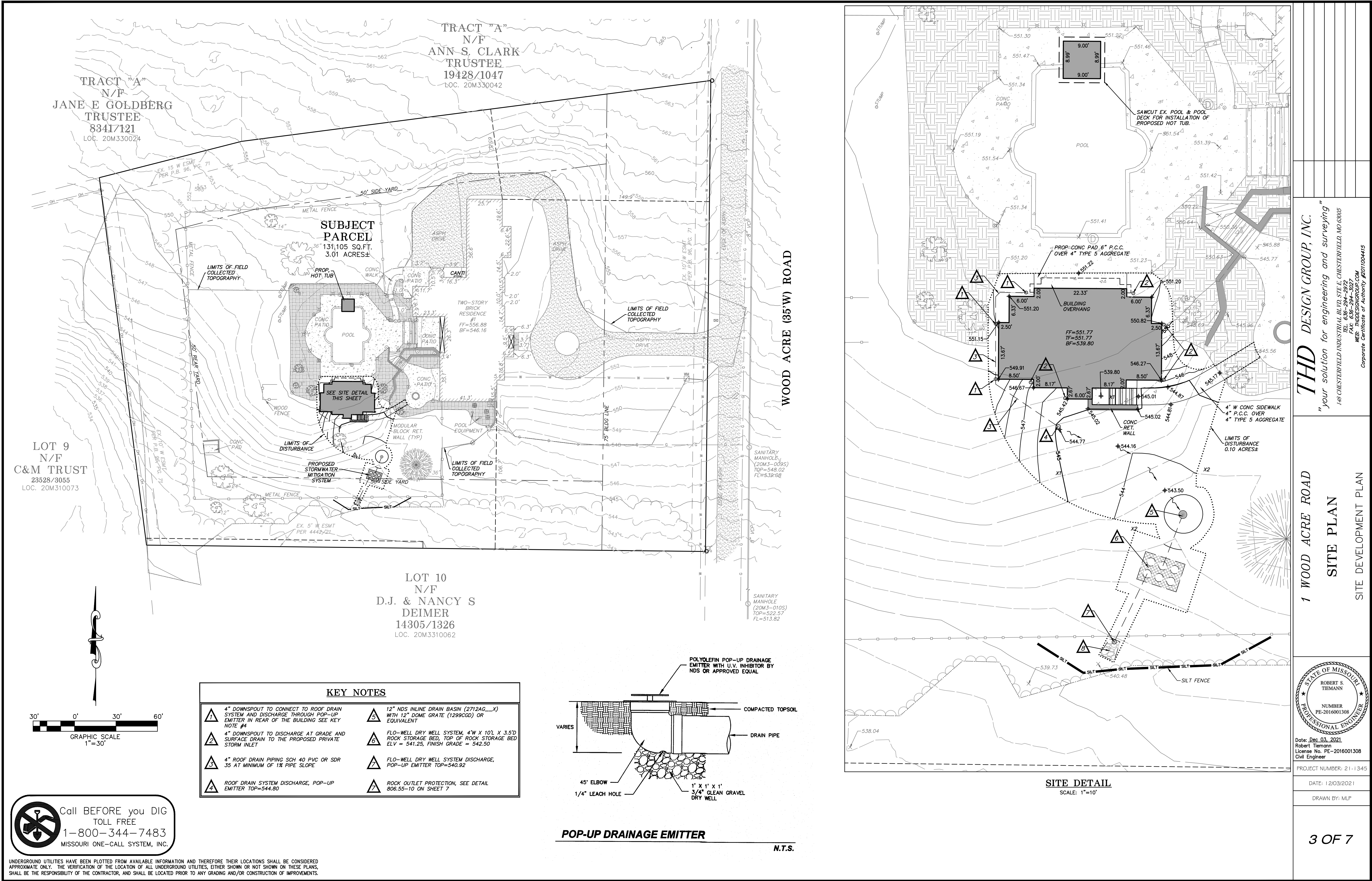
ALL STEEL BRICK LINTELS TO HAVE 8" MINIMUM BEARING AT EACH END



1 north elevation



scale: 1/4" = 1'-0"





property across the street



property to the left



subject property



subject property



subject property



subject property



subject property